



£340,000



TENURE: **Freehold**



EPC RATING: **C**



COUNCIL TAX BAND: **D**

Stafford

Lancaster Road
Stafford Staffordshire



4



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Hurry and make that call to secure a viewing of this exceptional four-bedroom detached home, ideally positioned at the end of a highly esteemed cul-de-sac, just a stone's throw away from Stafford town centre. Brace yourself! The internet buzz for this property could be explosive!

Step inside to discover an inviting entrance hallway, a welcoming living room, an open-plan kitchen/dining room, a large, double-glazed conservatory, a utility space, and a guest WC. Upstairs, four bedrooms await along with a family bathroom. Outside, revel in a double-width driveway, a single garage, and a generously sized rear garden boasting a spacious paved seating area. Don't hesitate and act swiftly to secure your chance to view this remarkable property!

- Spacious Four Bedroom Detached House
- Spacious Living Room with Kitchen/Dining Room
- Large Double Glazed Conservatory
- Useful Utility Room with Guest WC
- Off Road Parking with A Garage & Private Garden
- Close To Stafford Town Centre & Commuter Links

You can reach us 9am to 9pm, 7 days a week

14 Salter Street, Stafford, Staffordshire, ST16 2JU

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Entrance Hallway

Accessed through a double glazed entrance door with double glazed side panels, having stairs off, rising to the First Floor Landing & accommodation, a radiator, and internal door(s) off, providing access to;

Living Room 17' 9" x 13' 5" (5.41m x 4.08m)

A spacious & bright reception room which features a decorative marble fire surround housing a coal effect gas fire set on a matching marble hearth, and having coving to the ceiling, a radiator, a double glazed bay window to the front elevation, and internal glazed sliding door leading through into the open-plan Kitchen & Dining Area.

Kitchen & Dining Area 10' 6" x 16' 5" (3.21m x 5.01m)

A spacious kitchen/dining area, featuring a matching range of fitted wall, base & drawer units with fitted work surfaces over incorporating an inset 1.5 bowl sink/drainer with chrome taps, and includes a range of integrated/fitted appliances: electric single oven with a 4-ring gas hob & extractor hood over, integrated dishwasher, and an integrated refrigerator. The room also benefits from having a useful understairs storage area, wood effect flooring, space for a dining table & chairs, a double glazed window to the rear elevation, and further sliding double glazed patio door providing access into the Conservatory.



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Conservatory 10' 8" x 9' 7" (3.25m x 2.91m)

A UPVC double glazed conservatory constructed on a low brick wall, featuring tiled flooring, centre light point with fan, a wall mounted electrically operated heated, and double glazed windows & double glazed French doors providing views and access out to the garden and onto the adjacent paved patio seating area.



Utility Room 13' 2" x 8' 2" (4.01m x 2.49m)

Fitted with a matching range of high gloss wall units with fitted work surface having splashback tiling to the walls, and space & plumbing for appliance(s). The room also benefits from having a radiator, wood effect flooring, and a double glazed window & door to the rear elevation leading out to the garden.

Guest WC 6' 6" x 4' 0" (1.98m x 1.21m)

Fitted with a modern white suite comprising of a low-level WC, and a pedestal wash hand basin with chrome mixer tap. There is wood effect flooring, a radiator, and a double glazed window to the side elevation.

First Floor Landing

Having a useful built-in cupboard with door, an access hatch to the loft space, and internal door(s) off, providing access to;



Bedroom One 14' 8" x 8' 11" (4.47m x 2.72m)

A good sized double bedroom which has built-in double wardrobes, a double glazed window to the front elevation, and radiator.

Bedroom Two 11' 4" x 9' 5" (3.45m x 2.86m)

A second spacious double bedroom, having a double glazed window to the rear elevation, and radiator.

Bedroom Three 23' 10" x 8' 0" (7.27m x 2.45m)

A large & bright dual-aspect double bedroom having double glazed windows to both the front & rear elevations.



Bedroom Four 7' 11" x 7' 3" (2.41m x 2.21m)

Having a double glazed window to the front elevation, and radiator.

Bathroom 9' 0" x 6' 10" (2.74m x 2.08m)

Fitted with a white suite comprising of a low-level WC, a pedestal wash hand basin with chrome taps, a panelled bath with chrome centre fill mixer taps, and a separate screened shower housing a mains-fed shower. There is part-tiling to the walls, tiled flooring, a chrome towel radiator, and a double glazed window to the rear elevation.

Outside Front

The property is approached over a double width asphalt driveway which provides off-road parking and access to both the single integral garage, and front entrance porch with a lawned garden area to the side, and secure gated pedestrian access to the rear garden.



Garage 17' 2" x 8' 2" (5.24m x 2.50m)

A single integral garage, accessed via an up and over garage door to the front elevation, and benefitting from having both power & lighting installed.

Outside Rear

A good sized private & enclosed rear garden, being laid mainly to lawn with a paved patio seating/outdoor entertaining area adjacent to the Conservatory's French doors, a garden shed, and is enclosed by panelled fencing.

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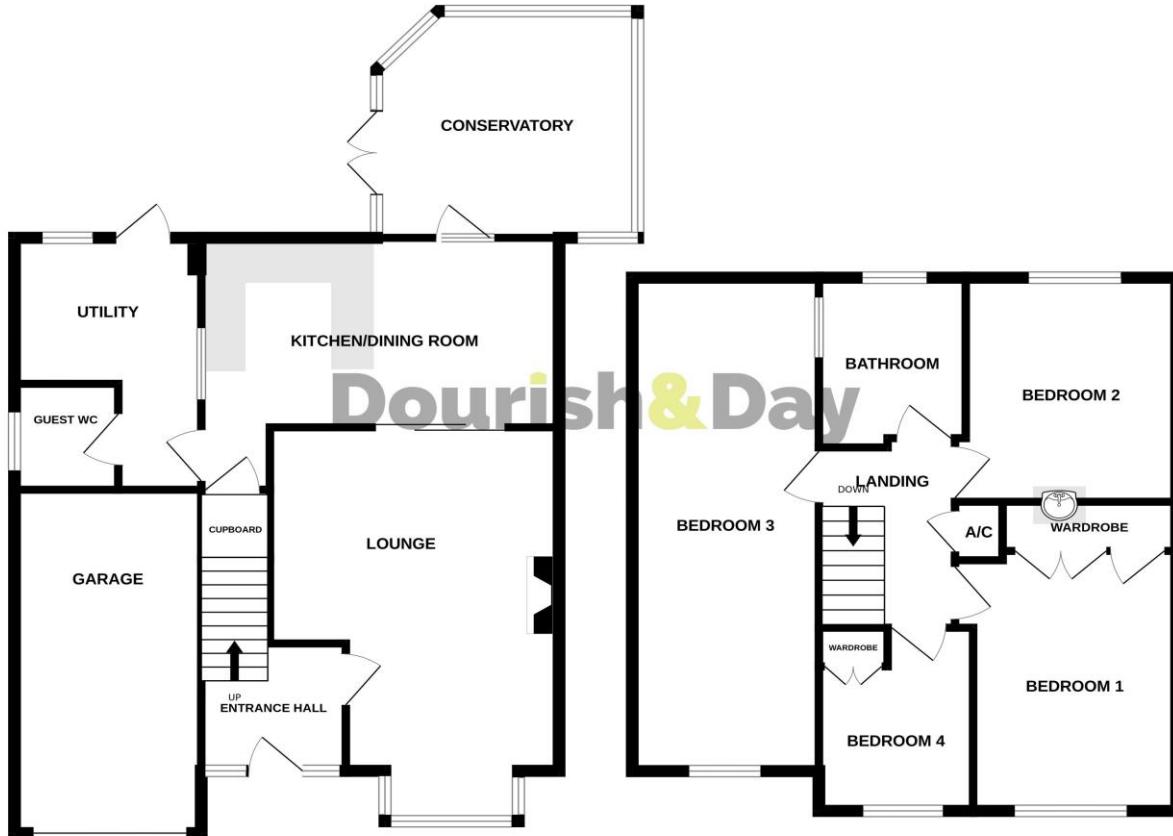
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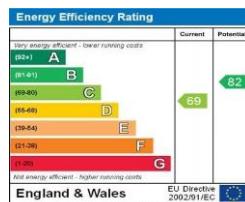
GROUND FLOOR

1ST FLOOR



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